

Inspection Report



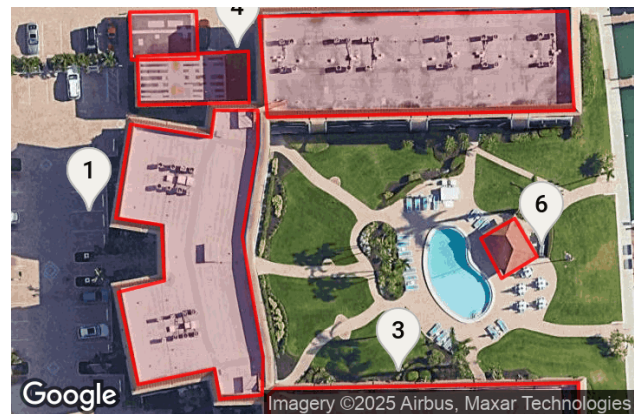
Prepared For:

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Site Overview

Total Sections: 6
Total Sq/Ft: 26,373



Map	Section Name	Sq/Ft	Est. Install	Grade
1	Section 1 West building	7,903	2019	A-
2	Section 2 North building	7,900		A-
3	Section 3 South building	7,753		A-
4	Section 4 Main office building	1,418		C-
5	Section 5 Bike shop	819		D
6	Section 6 Pool House	580		C

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Composition

Section: Section 1 West building

Size: 7,903

Overall Grade: A-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Cap Sheet Roof System.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Section Overview

Section: Section 1 West building

Size: 7,903

Overall Grade: A-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Roof Overview.



Roof Overview.



Roof Overview.



Roof Overview.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Observations

Section: Section 1 West building

Size: 7,903

Overall Grade: A-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Roof Overview.



Roof Overview.

Deficiencies

Section: Section 1 West building

Size: 7,903

Overall Grade: A-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Membrane - Punctures/Rips/Tears (Emergency)

Quantity: 24 EA

Deficiency:

These deficiencies are typically caused by heavy foot traffic by other trades, careless mechanical work, careless installation processes or storm related weather events.

Corrective Action:

Clean and prep the area around the puncture, rip or tear and repair according to the existing type of roof system meeting the minimum industry standards for the type of repair needed.



Surface - Debris

Quantity: 1 EA

Deficiency:

Loose debris has a high probability of blowing around on the roof and causing damage to the waterproofing membrane.

Corrective Action:

Remove loose debris from roof area and place in bag, and haul away.

Deficiencies

Section: Section 1 West building

Size: 7,903

Overall Grade: A-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Fasteners - Failing/Missing (Emergency)

Quantity: 8 EA

Deficiency:

As the building moves and flexes the fasteners will loosen up and eventually back out completely resulting in water infiltration.

Corrective Action:

A new fastener, 1 size larger would be installed per industry standards to ensure a water tight seal.



Penetration - Pipe flashing failure (Emergency)

Quantity: 3 EA

Deficiency:

Due to age, weathering, UV &/or improper installation the penetration flashing has failed.

Corrective Action:

The pipe penetration should be repaired/flashed properly for the type of roof system per minimum industry standards to ensure a water tight seal.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
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Deficiencies

Section: Section 1 West building

Size: 7,903

Overall Grade: A-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Caulking (Emergency)

Quantity: 16 LF

Deficiency:

Caulking is either non-existent or is in need of cleaning and applying.

Corrective Action:

Clean and prep area and apply new caulking.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Summary

Section: Section 1 West building
Size: 7,903
Overall Grade: A-

Inspection Date: 09/11/2025
Inspected By: Tim Adcock



Condition Summary

Membrane:	A-
Flashings:	A-
Sheet Metal:	A-
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Overall:	A-

ROOF GRADING SYSTEM

A- Roof is new or nearly new.
B- Roof is in "Good" condition but may have need for minor preventative maintenance.
C- Roof condition is "Fair". The roof is either older with age-related conditions developing or it is a younger roof that is not performing as well as would be expected for its age.
D- Roof condition is "Poor". The roof is either at or nearing the end of its service life or is a roof with significant deficiencies present. Carefully selected preventative maintenance may help cost effectively extend the life of this roof and reduce unnecessary leaking, or it may not.
F- Roof has failed. While it may be possible to repair all existing leaks, it should be assumed that new leaks will continue to develop, and that preventative maintenance is unlikely to be successful at keeping the roof leak free for reasonable periods of time.

Estimated Replace:

Recommendations:

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The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Composition

Section: Section 2 North building

Size: 7,900

Overall Grade: A-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Modified Bitumen Roof System.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Section Overview

Section: Section 2 North building

Size: 7,900

Overall Grade: A-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Roof Overview.



Roof Overview.



Roof Overview.



Roof Overview.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Observations

Section: Section 2 North building

Size: 7,900

Overall Grade: A-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Roof Overview.



Roof Overview.



Roof Mansard Overview.

Deficiencies

Section: Section 2 North building

Size: 7,900

Overall Grade: A-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Penetrations - Pitch pan sealant failure (Emergency)

Quantity: 1 EA

Deficiency:

Over time, pitch pan fillers fail from age fatigue, cracking, shrinking, or separating from the pipes or conduits in the PP allowing water to enter the building.

Corrective Action:

When adding new mastic always dig out some of the existing mastic to provide better adhesion to the new material used to fill the pitch pan. Always apply new mastic in a pyramid fashion inside the pitch pan. In severe cases inert filler may be required to fill the bottom of the pitch pan and new pourable sealer applied vs. asphalt based mastic.

Deficiencies

Section: Section 2 North building

Size: 7,900

Overall Grade: A-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Membrane - Punctures/Rips/Tears (Emergency)

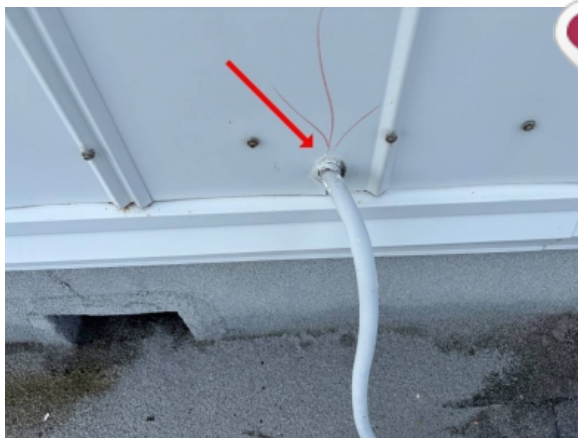
Quantity: 13 EA

Deficiency:

These deficiencies are typically caused by heavy foot traffic by other trades, careless mechanical work, careless installation processes or storm related weather events.

Corrective Action:

Clean and prep the area around the puncture, rip or tear and repair according to the existing type of roof system meeting the minimum industry standards for the type of repair needed.



Penetrations - Caulking failure (Emergency)

Quantity: 1 EA

Deficiency:

Around the penetration the caulking or sealant has degraded and is in need of replacement/maintenance.

Corrective Action:

Cut out or remove the existing caulking/sealant, clean the area, and re-apply sealant to ensure water tightness.

Deficiencies

Section: Section 2 North building

Size: 7,900

Overall Grade: A-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Membrane - Bare Spots

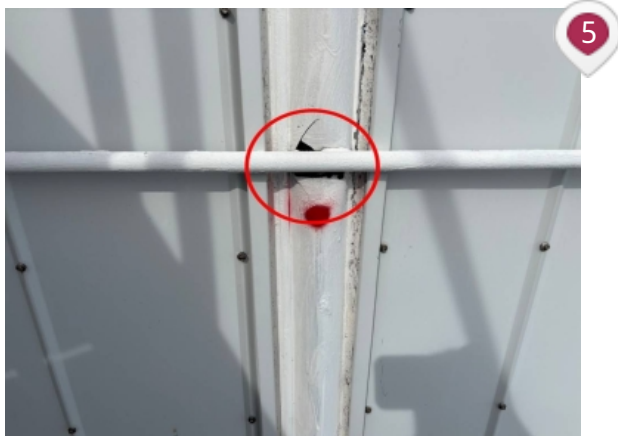
Quantity: 3 EA

Deficiency:

Bare spots are areas where the roof's protective surfacing is missing and the underlying asphalt materials are exposed to the sun. Bare spots can be caused by wind, foot traffic, or water. Resurfacing these areas are essential in protecting the existing roof system.

Corrective Action:

Clean the existing surface free from loose materials. Prime the roof as needed. Install new roof adhesive and surfacing to match existing.



Expansion Joint Cut (Emergency)

Quantity: 1 LF

Deficiency:

Cut in rubber of expansion joint is allowing water in.

Corrective Action:

We will properly install patch to ensure water tightness.

The Bordeaux Club
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Naples, FL 34103

Deficiencies

Section: Section 2 North building

Size: 7,900

Overall Grade: A-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Surface - Debris

Quantity: 1 EA

Deficiency:

Loose debris has a high probability of blowing around on the roof and causing damage to the waterproofing membrane.

Corrective Action:

Remove loose debris from roof area and place in bag, and haul away.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Summary

Section: Section 2 North building
Size: 7,900
Overall Grade: A-

Inspection Date: 09/11/2025
Inspected By: Tim Adcock



Condition Summary

Membrane:	A-
Flashings:	A-
Sheet Metal:	A-
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Overall:	A-

Estimated Replace:

Recommendations:
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ROOF GRADING SYSTEM

A- Roof is new or nearly new.
B- Roof is in "Good" condition but may have need for minor preventative maintenance.
C- Roof condition is "Fair". The roof is either older with age-related conditions developing or it is a younger roof that is not performing as well as would be expected for its age.
D- Roof condition is "Poor". The roof is either at or nearing the end of its service life or is a roof with significant deficiencies present. Carefully selected preventative maintenance may help cost effectively extend the life of this roof and reduce unnecessary leaking, or it may not.
F- Roof has failed. While it may be possible to repair all existing leaks, it should be assumed that new leaks will continue to develop, and that preventative maintenance is unlikely to be successful at keeping the roof leak free for reasonable periods of time.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Composition

Section: Section 3 South building

Size: 7,753

Overall Grade: A-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Modified Bitumen Roof System.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Section Overview

Section: Section 3 South building

Size: 7,753

Overall Grade: A-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Roof Overview.



Roof Overview.



Roof Overview.



Roof Overview.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Observations

Section: Section 3 South building

Size: 7,753

Overall Grade: A-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Roof Overview.



Roof Overview.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Deficiencies

Section: Section 3 South building

Size: 7,753

Overall Grade: A-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Membrane - Punctures/Rips/Tears (Emergency)

Quantity: 25 EA

Deficiency:

These deficiencies are typically caused by heavy foot traffic by other trades, careless mechanical work, careless installation processes or storm related weather events.

Corrective Action:

Clean and prep the area around the puncture, rip or tear and repair according to the existing type of roof system meeting the minimum industry standards for the type of repair needed.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Deficiencies

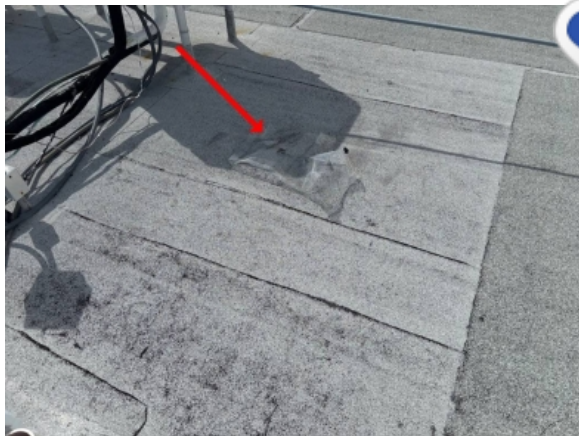
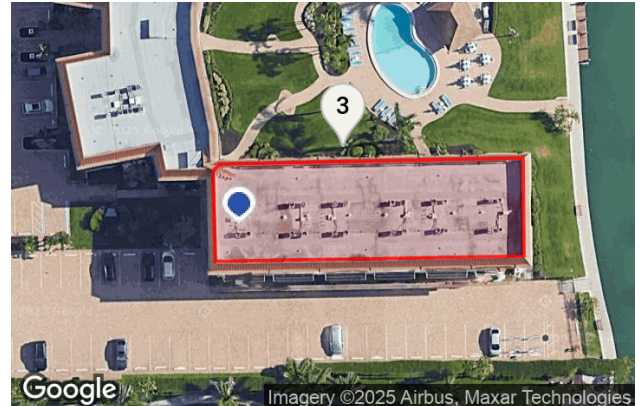
Section: Section 3 South building

Size: 7,753

Overall Grade: A-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Debris - Trash on Roof

Quantity: 1 EA

Deficiency:

Loose debris has a high probability of blowing around on the roof and causing damage to the waterproofing membrane.

Corrective Action:

Remove loose debris from roof area and include as part of routine preventative maintenance. Inspect and repair damaged membrane resulting from wind blown debris. Price is per bag.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Summary

Section: Section 3 South building
Size: 7,753
Overall Grade: A-

Inspection Date: 09/11/2025
Inspected By: Tim Adcock



Condition Summary

Membrane:	A-
Flashings:	A-
Sheet Metal:	A-
Overall:	A-

Estimated Replace:

Recommendations:

ROOF GRADING SYSTEM

A- Roof is new or nearly new.
B- Roof is in "Good" condition but may have need for minor preventative maintenance.
C- Roof condition is "Fair". The roof is either older with age-related conditions developing or it is a younger roof that is not performing as well as would be expected for its age.
D- Roof condition is "Poor". The roof is either at or nearing the end of its service life or is a roof with significant deficiencies present. Carefully selected preventative maintenance may help cost effectively extend the life of this roof and reduce unnecessary leaking, or it may not.
F- Roof has failed. While it may be possible to repair all existing leaks, it should be assumed that new leaks will continue to develop, and that preventative maintenance is unlikely to be successful at keeping the roof leak free for reasonable periods of time.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Composition

Section: Section 4 Main office building

Size: 1,418

Overall Grade: C-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Modified Bitumen Roof System.



Section Overview

Section: Section 4 Main office building

Size: 1,418

Overall Grade: C-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Roof Overview.



Roof Overview.



Roof Overview.



Roof Overview.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Observations

Section: Section 4 Main office building

Size: 1,418

Overall Grade: C-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Roof Overview.



Roof Overview.



Metal Mansard Roof Overview.

Deficiencies

Section: Section 4 Main office building

Size: 1,418

Overall Grade: C-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Membrane - Temporary Repair (Emergency)

Quantity: 1 EA

Deficiency:

Leak location detected in the roof system allowing water to enter into the building.

Corrective Action:

Clean the area to the best of our ability and apply water proof sealant to temporarily solve the roof leak.



Membrane - Bare Spots

Quantity: 1 EA

Deficiency:

Bare spots are areas where the roof's protective surfacing is missing and the underlying asphalt materials are exposed to the sun. Bare spots can be caused by wind, foot traffic, or water. Resurfacing these areas are essential in protecting the existing roof system.

Corrective Action:

Clean the existing surface free from loose materials. Prime the roof as needed. Install new roof adhesive and surfacing to match existing.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Deficiencies

Section: Section 4 Main office building

Size: 1,418

Overall Grade: C-

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Reroof needed over office

Quantity: 1 null

Deficiency:

Corrective Action:

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Summary

Section: Section 4 Main office building
Size: 1,418
Overall Grade: C-

Inspection Date: 09/11/2025
Inspected By: Tim Adcock



Condition Summary

Membrane:	C-
Flashings:	C-
Sheet Metal:	C-
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Overall:	C-

Estimated Replace:

Recommendations:

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ROOF GRADING SYSTEM

- A- Roof is new or nearly new.
- B- Roof is in "Good" condition but may have need for minor preventative maintenance.
- C- Roof condition is "Fair". The roof is either older with age-related conditions developing or it is a younger roof that is not performing as well as would be expected for its age.
- D- Roof condition is "Poor". The roof is either at or nearing the end of its service life or is a roof with significant deficiencies present. Carefully selected preventative maintenance may help cost effectively extend the life of this roof and reduce unnecessary leaking, or it may not.
- F- Roof has failed. While it may be possible to repair all existing leaks, it should be assumed that new leaks will continue to develop, and that preventative maintenance is unlikely to be successful at keeping the roof leak free for reasonable periods of time.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Composition

Section: Section 5 Bike shop

Size: 819

Overall Grade: D

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Modified Bitumen Roof System.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Section Overview

Section: Section 5 Bike shop

Size: 819

Overall Grade: D

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Roof Overview.



Roof Overview.



Roof Overview.



Roof Overview.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Observations

Section: Section 5 Bike shop

Size: 819

Overall Grade: D

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Roof Overview.



Roof Overview.

Deficiencies

Section: Section 5 Bike shop

Size: 819

Overall Grade: D

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Membrane - Temporary Repair (Emergency)

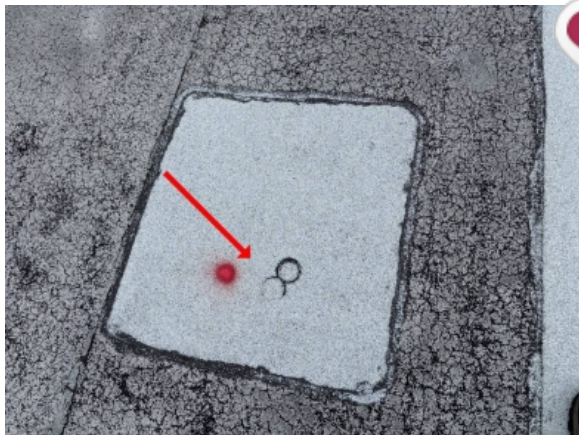
Quantity: 2 EA

Deficiency:

Leak location detected in the roof system allowing water to enter into the building.

Corrective Action:

Clean the area to the best of our ability and apply water proof sealant to temporarily solve the roof leak.



Membrane - Punctures/Rips/Tears (Emergency)

Quantity: 1 EA

Deficiency:

These deficiencies are typically caused by heavy foot traffic by other trades, careless mechanical work, careless installation processes or storm related weather events.

Corrective Action:

Clean and prep the area around the puncture, rip or tear and repair according to the existing type of roof system meeting the minimum industry standards for the type of repair needed.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Deficiencies

Section: Section 5 Bike shop

Size: 819

Overall Grade: D

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Reroof needed over bike storage

Quantity: 1 null

Deficiency:

Corrective Action:

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Summary

Section: Section 5 Bike shop
Size: 819
Overall Grade: D

Inspection Date: 09/11/2025
Inspected By: Tim Adcock



Condition Summary

Membrane:	D
Flashings:	D
Sheet Metal:	D
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Overall:	D
Estimated Replace:	2028

ROOF GRADING SYSTEM

- A- Roof is new or nearly new.
- B- Roof is in "Good" condition but may have need for minor preventative maintenance.
- C- Roof condition is "Fair". The roof is either older with age-related conditions developing or it is a younger roof that is not performing as well as would be expected for its age.
- D- Roof condition is "Poor". The roof is either at or nearing the end of its service life or is a roof with significant deficiencies present. Carefully selected preventative maintenance may help cost effectively extend the life of this roof and reduce unnecessary leaking, or it may not.
- F- Roof has failed. While it may be possible to repair all existing leaks, it should be assumed that new leaks will continue to develop, and that preventative maintenance is unlikely to be successful at keeping the roof leak free for reasonable periods of time.

Recommendations:
Reroof needed

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Composition

Section: Section 6 Pool House

Size: 580

Overall Grade: C

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Shingle Roof System.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Section Overview

Section: Section 6 Pool House

Size: 580

Overall Grade: C

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Roof Overview.



Roof Overview



Roof Overview.



Roof Overview.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Observations

Section: Section 6 Pool House

Size: 580

Overall Grade: C

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Roof Overview.



Roof Overview.

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Deficiencies

Section: Section 6 Pool House

Size: 580

Overall Grade: C

Inspection Date: 09/11/2025

Inspected By: Tim Adcock



Shingle roof in fair shape

Quantity: 0 null

Deficiency:

Corrective Action:

The Bordeaux Club
Bordeaux Club-2900 Gulf Shore Blvd N
2900 Gulf Shore Blvd N
Naples, FL 34103

Summary

Section: Section 6 Pool House
Size: 580
Overall Grade: C

Inspection Date: 09/11/2025
Inspected By: Tim Adcock



Condition Summary

Membrane:	C
Flashings:	C
Sheet Metal:	C
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Overall:	C

Estimated Replace: 2030

Recommendations:

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ROOF GRADING SYSTEM

A- Roof is new or nearly new.
B- Roof is in "Good" condition but may have need for minor preventative maintenance.
C- Roof condition is "Fair". The roof is either older with age-related conditions developing or it is a younger roof that is not performing as well as would be expected for its age.
D- Roof condition is "Poor". The roof is either at or nearing the end of its service life or is a roof with significant deficiencies present. Carefully selected preventative maintenance may help cost effectively extend the life of this roof and reduce unnecessary leaking, or it may not.
F- Roof has failed. While it may be possible to repair all existing leaks, it should be assumed that new leaks will continue to develop, and that preventative maintenance is unlikely to be successful at keeping the roof leak free for reasonable periods of time.